

403,000 SF

ON 55.11 ACRES AVAILABLE FOR LEASE

575-595 RESEARCH DRIVE (P-46)
CENTERPOINT COMMERCE & TRADE PARK EAST
PITSTON, PA 18640



TAX-ABATED SITE | EXPANDABLE TO 511,500 SF

LERTA APPROVED! 10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



DIRECTIONS TO CENTERPOINT COMMERCE & TRADE PARK EAST

TRAVELING NORTH ON I-81

Take Exit 175 (Pittston/Route 315 North). Make the first right just before the auto dealership. Follow road under I-476 overpass.

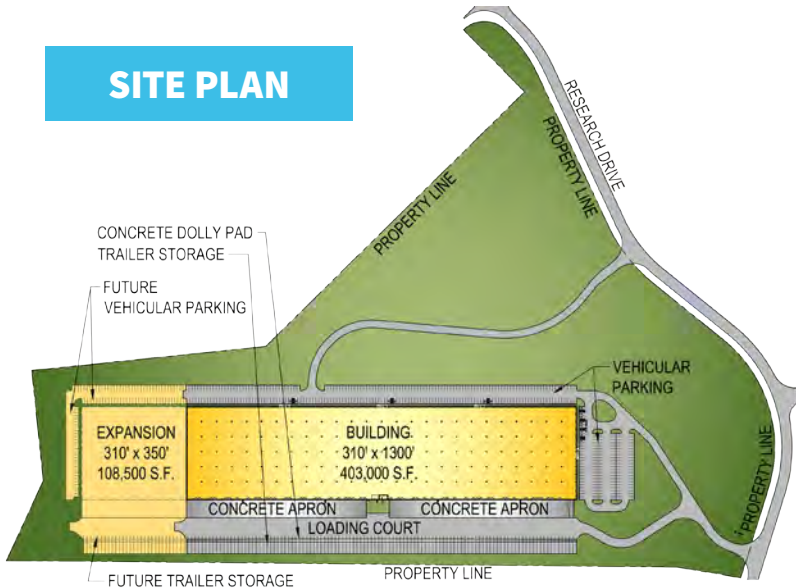
TRAVELING SOUTH ON I-81

Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south ½ mile to first light. Turn left and follow road under I-476 overpass.

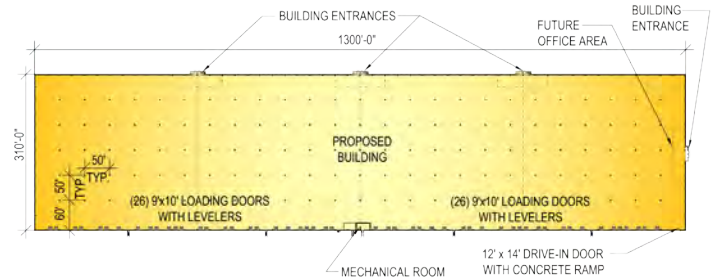
TRAVELING ON I-476 (PA TURNPIKE)

Take Exit 115 (Wyoming Valley). Follow Rt. 315 south ½ mile to first light. Turn left and follow road under I-476 overpass.

SITE PLAN



FLOOR PLAN



SIZE

- **Available Space:** 403,000 SF, expandable to 511,500 SF
- Spaces available from 50,119 SF
- **Acreage:** 55.11 acres
- **Building Dimensions:** 1300' (length) x 310' (depth)
- **Expansion Dimensions:** 350' (length) x 310' (depth)

BUILDING CONSTRUCTION

- **Floor:** 6" reinforced concrete floor with welded steel mats
- **Roof:** MR-24 standing seam metal roof system
- **Exterior Walls:** Exterior consisting of split face concrete masonry and insulated metal wall panels, and aluminum frame storefront glazing system
- **Ceiling Height:** 31' approx. clear structural height along loading walls and 36'5" approx. clear structural height at high eave
- **Column Spacing:** 50' x 50' bay spacing with 60' deep staging bay

LOADING

- **Dock Equipment:** Fifty-two (52) 9' x 10' vertical-lift dock doors with 30,000 LB capacity Rite-Hite, mechanical levelers with bumpers
- One (1) 12' x 14' vertical-lift drive-in door with pre-cast ramp
- 8" thick x 60' deep, reinforced concrete apron at loading dock
- 8' wide concrete dolly pad at 60' deep trailer storage area

UTILITIES

- **HVAC:** Gas-fired, suspended unit heaters or energy-efficient, Cambridge direct-fire units
- **Electrical Service:** 800 amp, 480/277 volt, 3-phase electrical service (expandable)
- **Lighting:** Warehouse lighting is energy-efficient fluorescent t-bay fixtures with lighting levels of 18-22 FC average
- **Fire Protection:** Early Suppression Fast Response (ESFR) sprinkler system
- **Utilities:** All utilities shall be separately metered
- Provisions for domestic water and natural gas shall be provided

PARKING

- Asphalt paving, including heavy duty pave in truck areas
- On-site parking for approx. 492 vehicles with future parking for up to 595 spaces
- On-site trailer storage for approx. 108 trailers with future storage for up to 137 trailers

LOCATION

- Less than one mile from I-81 and 1-476
- More than 470,000 live within 20 miles of the park

Northeastern Pennsylvania is the center of the Boston/Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380 and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.



CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR

DEEP WATER PORTS

PORT	MI	KM
Philadelphia	120	193
New York/New Jersey	121	195
Wilmington	132	212
Baltimore	191	307

TRAVEL DISTANCES

CITY	MI	KM
Delaware Water Gap, PA	57	92
Allentown, PA	67	108
Morristown, NJ	96	155
Philadelphia, PA	113	182
Harrisburg, PA	116	187
Port Newark, NJ	126	203
New York, NY	128	206
Syracuse, NY	152	245
Baltimore, MD	194	312
Hartford, CT	198	319
Washington, DC	237	381
Pittsburgh, PA	290	467
Boston, MA	301	484



10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS

EMPLOYMENT DATA

MORE THAN 470,000 PEOPLE LIVE WITHIN 20 MILES OF CENTERPOINT

YEAR	CIVILIAN LABOR FORCE	EMPLOYMENT	UNEMPLOYMENT	UNEMPLOYMENT RATE
2016	267,400	249,600	17,800	6.5 %
2015	267,700	252,200	15,900	5.8 %
2014	260,900	242,300	18,700	7.2 %
2013	270,800	245,300	25,600	9.5 %
2012	270,300	244,800	25,500	9.4 %



LOCAL ECONOMIC REVITALIZATION TAX ASSISTANCE PROGRAM (LERTA)

Companies that move into CenterPoint have the opportunity to dramatically lower their operating costs due to a long established tax abatement program. Every building constructed in Mericle's CenterPoint Commerce & Trade Park receives a 10-year, 100% real estate tax abatement on improvements via the Local Economic Revitalization Tax Assistance (LERTA) program. This abatement program was approved by Luzerne County, the Pittston Area School district, Jenkins Township, and Pittston Township.

The annual real estate taxes you will save when you move into a LERTA-approved building in CenterPoint may vary depending upon the cost of construction required to meet your exact specifications. **Contact Bob Besecker, Jim Hilsher, or Bill Jones of Mericle's Leasing Team for a detailed savings estimate.**



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CENTERPOINT COMMERCE & TRADE PARK EAST
PITTSTON, PA 18640

DEVELOPMENT DIVISION

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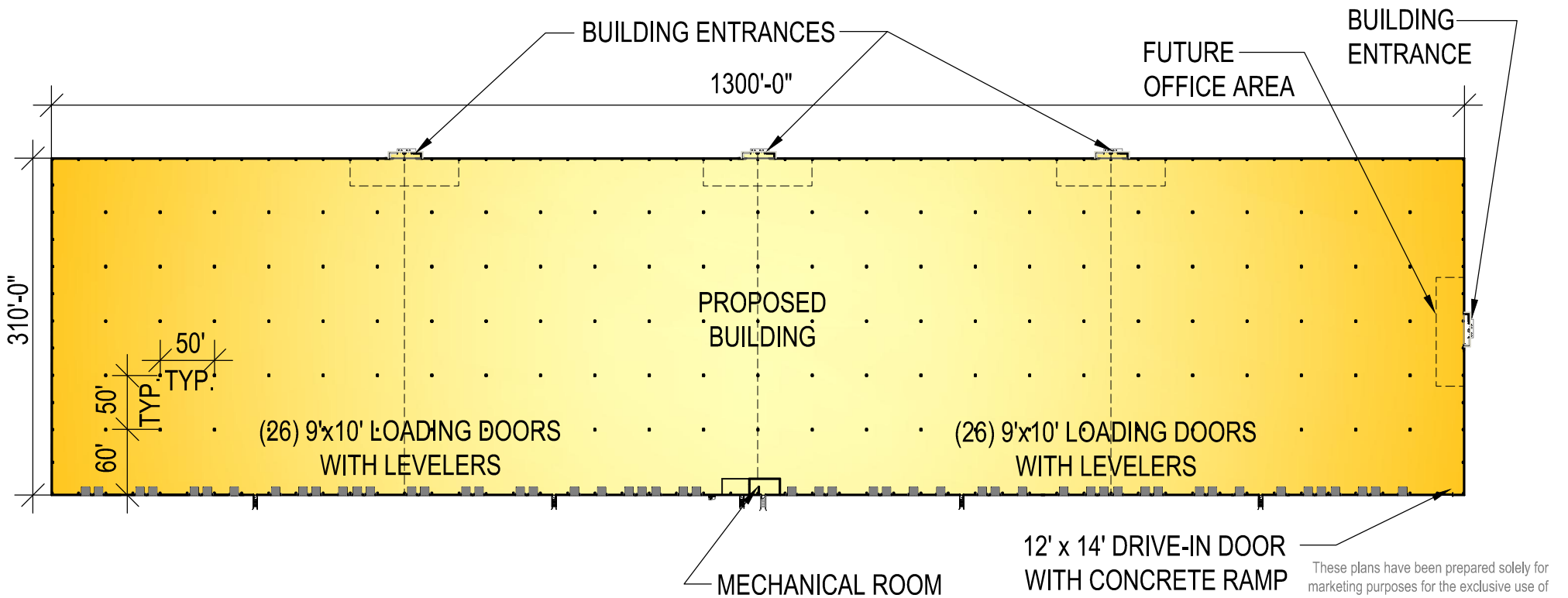
BILL JONES, VP
bjones@mericle.com

To learn more, please call one of us at **570.823.1100** to request a proposal and/or arrange a tour.

CONCEPTUAL BUILDING PLAN

PROPOSED 403,000 S.F. BUILDING
WITH A 108,500 S.F. EXPANSION

PARCEL #46
575-595 RESEARCH DRIVE
CENTERPOINT COMMERCE
AND TRADE PARK - EAST
PITTSION TOWNSHIP
PITTSION, PA 18640



These plans have been prepared solely for marketing purposes for the exclusive use of
- Mericle Commercial Real Estate Services

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East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

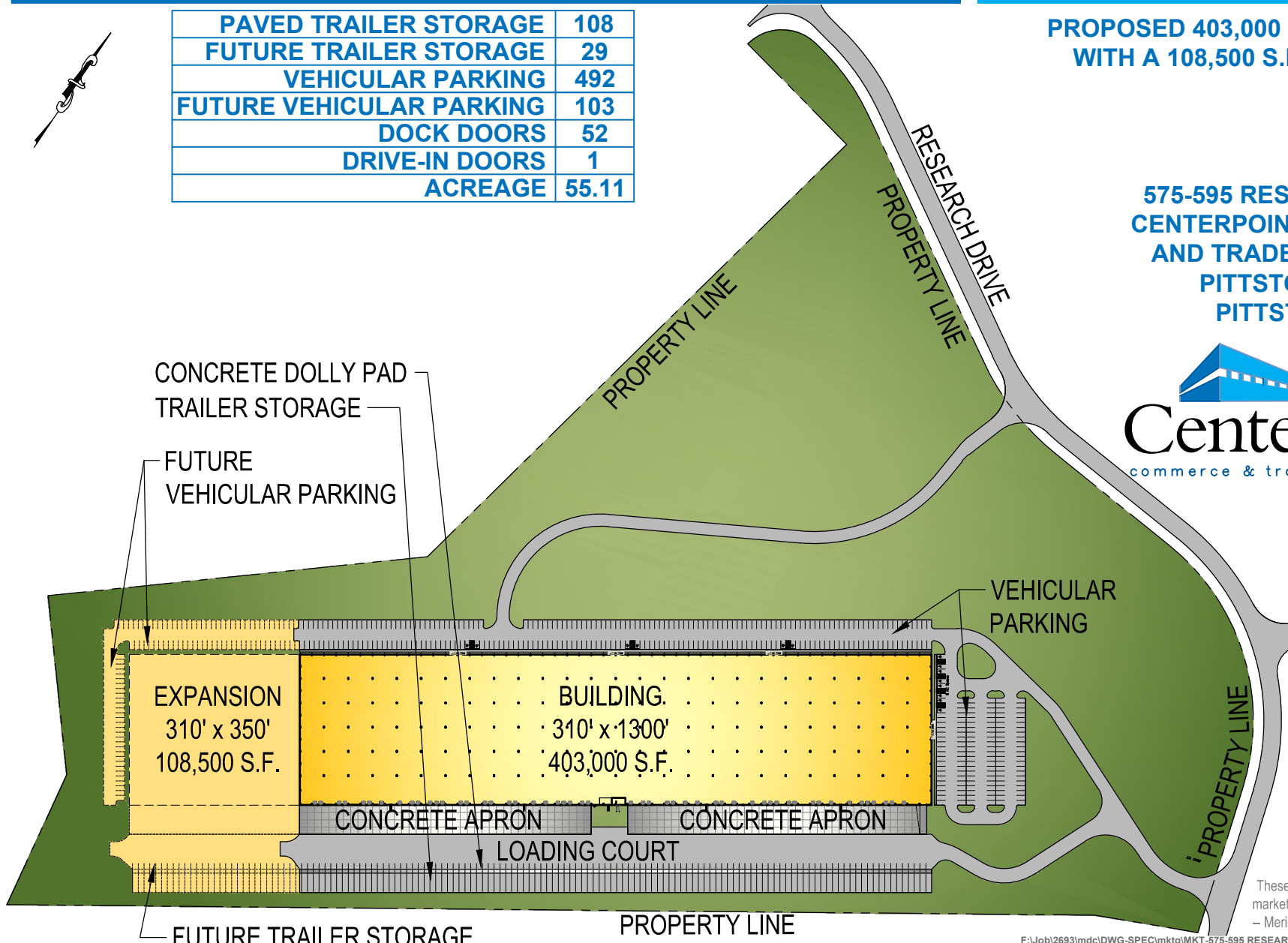
CONCEPTUAL SITE PLAN

PROPOSED 403,000 S.F. BUILDING
WITH A 108,500 S.F. EXPANSION

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AND TRADE PARK - EAST
PITTSION TOWNSHIP
PITTSION, PA 18640



PAVED TRAILER STORAGE	108
FUTURE TRAILER STORAGE	29
VEHICULAR PARKING	492
FUTURE VEHICULAR PARKING	103
DOCK DOORS	52
DRIVE-IN DOORS	1
ACREAGE	55.11



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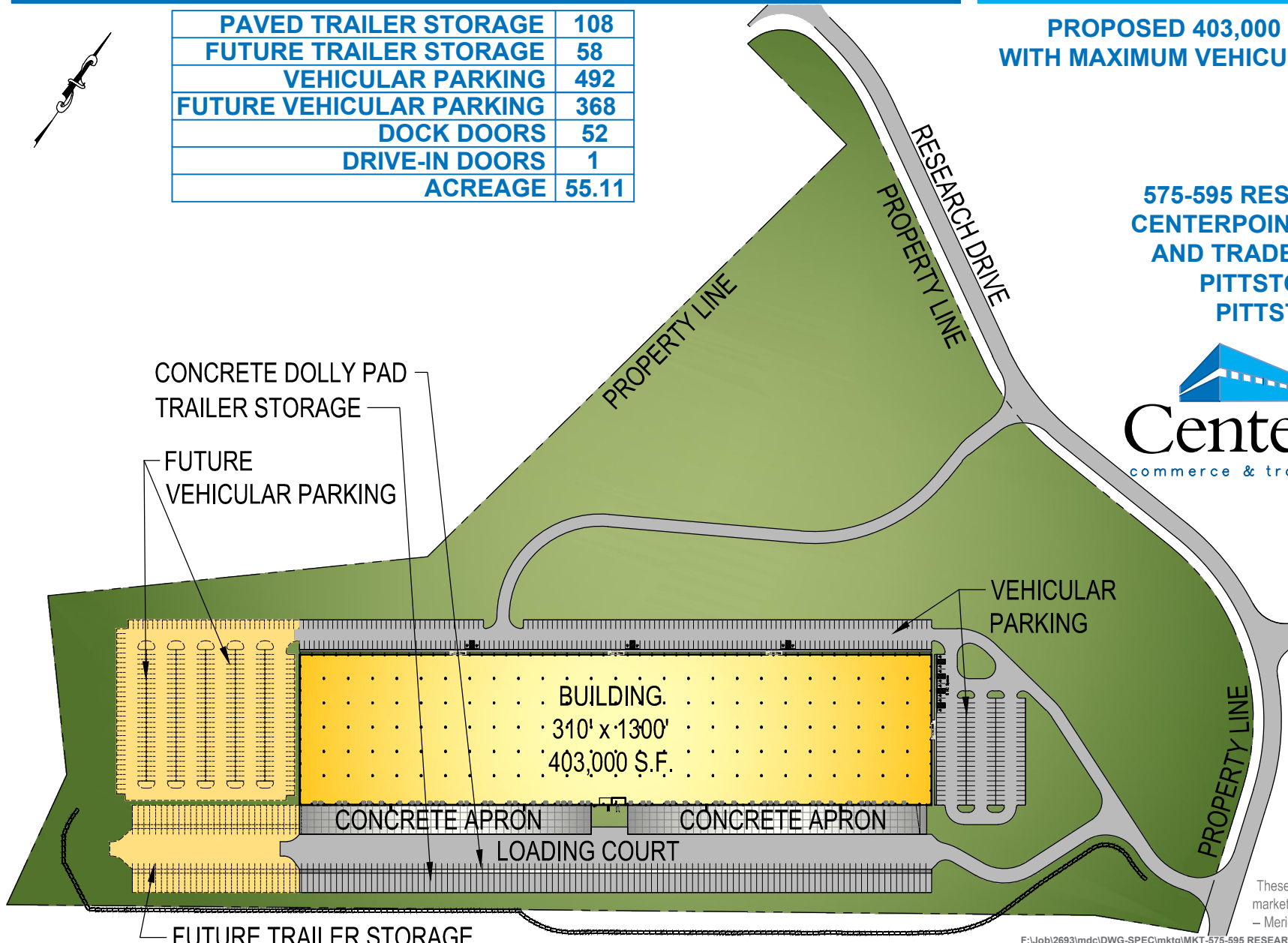
CONCEPTUAL SITE PLAN

PROPOSED 403,000 S.F. BUILDING
WITH MAXIMUM VEHICULAR PARKING

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CENTERPOINT COMMERCE
AND TRADE PARK - EAST
PITTSSTON TOWNSHIP
PITTSSTON, PA 18640



PAVED TRAILER STORAGE	108
FUTURE TRAILER STORAGE	58
VEHICULAR PARKING	492
FUTURE VEHICULAR PARKING	368
DOCK DOORS	52
DRIVE-IN DOORS	1
ACREAGE	55.11



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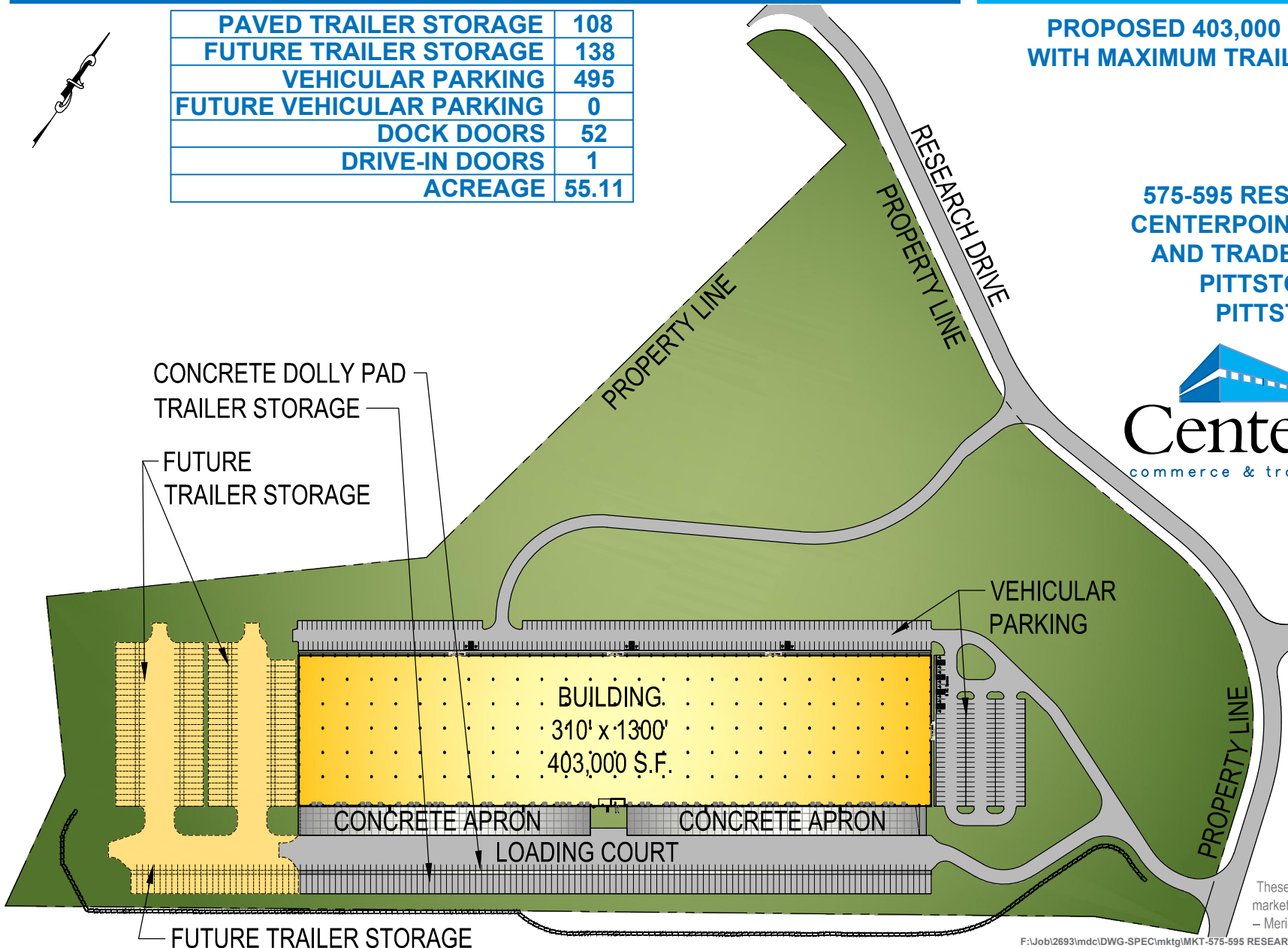
CONCEPTUAL SITE PLAN

PROPOSED 403,000 S.F. BUILDING
WITH MAXIMUM TRAILER STORAGE

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AND TRADE PARK - EAST
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PAVED TRAILER STORAGE	108
FUTURE TRAILER STORAGE	138
VEHICULAR PARKING	495
FUTURE VEHICULAR PARKING	0
DOCK DOORS	52
DRIVE-IN DOORS	1
ACREAGE	55.11



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BUILDING SPECIFICATIONS

SITE IMPROVEMENTS

- On-site parking for approximately 492 vehicles with future parking for up to 595 spaces.
- Site contains approximately 55.11 acres.
- On-site trailer storage for approximately 108 trailers with future storage for up to 137 trailers.
- 8" thick x 60' deep, reinforced concrete apron at loading dock.
- 8' wide concrete dolly pad at 60' deep trailer storage area.
- Asphalt paving, including heavy duty pave at truck areas.
- Professionally designed landscape and maintenance.
- Marquee sign at site entrance.

BUILDING IMPROVEMENTS

- Building shall contain 403,000 square feet, expandable to 517,000 square feet.
- Building dimensions are 1,300'-0" (length) x 310'-0" (depth). Expansion dimensions are 350'-0" (length) x 310'-0" (depth)
- Spaces available from 50,119 square feet.
- 50'-0" x 50'-0" bay spacing with a 60'-0" deep staging bay.
- 6" concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system with insulation.
- Exterior wall system shall consist of architectural masonry, aluminum/glazing entrance systems and metal wall panels with insulation.
- The building shall contain (52) 9'-0" x 10'-0" vertical lift dock doors with 30,000 LB capacity Rite-Hite, mechanical levelers with bumpers.
- The building shall contain (1) 12'-0" x 14'-0" vertical lift drive-in door with pre-cast ramp.
- 31'-0" approximate clear structural height along loading walls and 36'-5" approximate clear structural height at high eave.

UTILITIES AND BUILDING SYSTEMS

- The warehouse heating system shall be gas-fired, suspended unit heaters or energy efficient, Cambridge direct-fire units.
- The electrical service shall be 800 amp, 480/277 volt, 3-phase, expandable.
- The warehouse lighting shall be energy efficient fluorescent t-bay fixtures with lighting levels of 18 -22 FC average.
- Fire Protection System shall be an Early Suppression Fast Response (ESFR) sprinkler system.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

**PROPOSED 403,000 S.F. BUILDING
WITH A 108,500 S.F. EXPANSION**

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